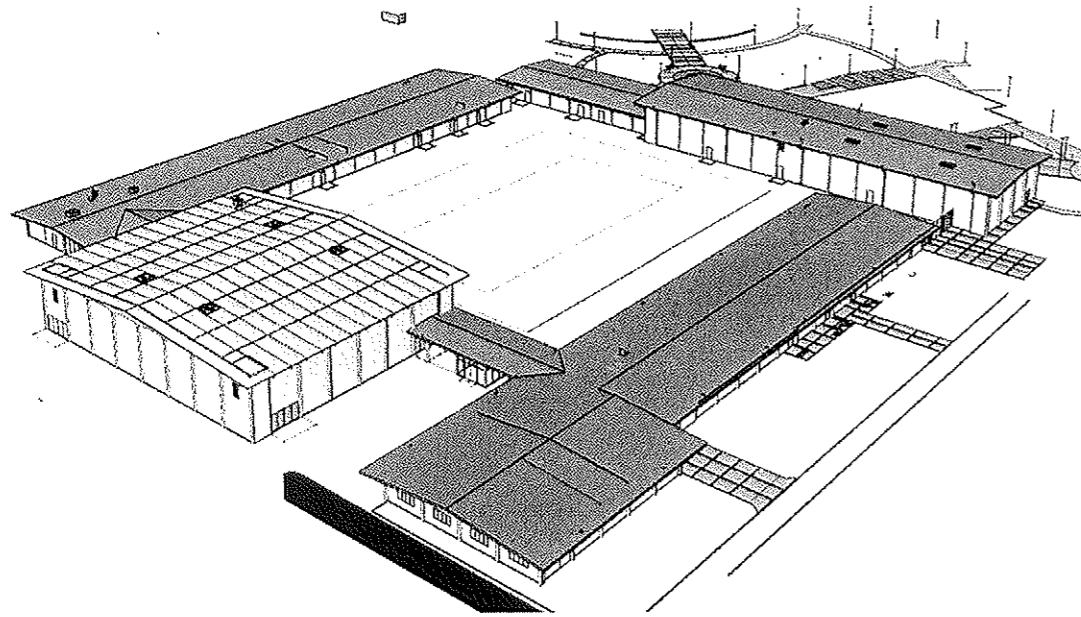


Start date 01JUN11
 Finish date 30JUN13
 Data date 01JUN11
 Run date 29MAR11
 Page number 1A
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PE Complex Alterations

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

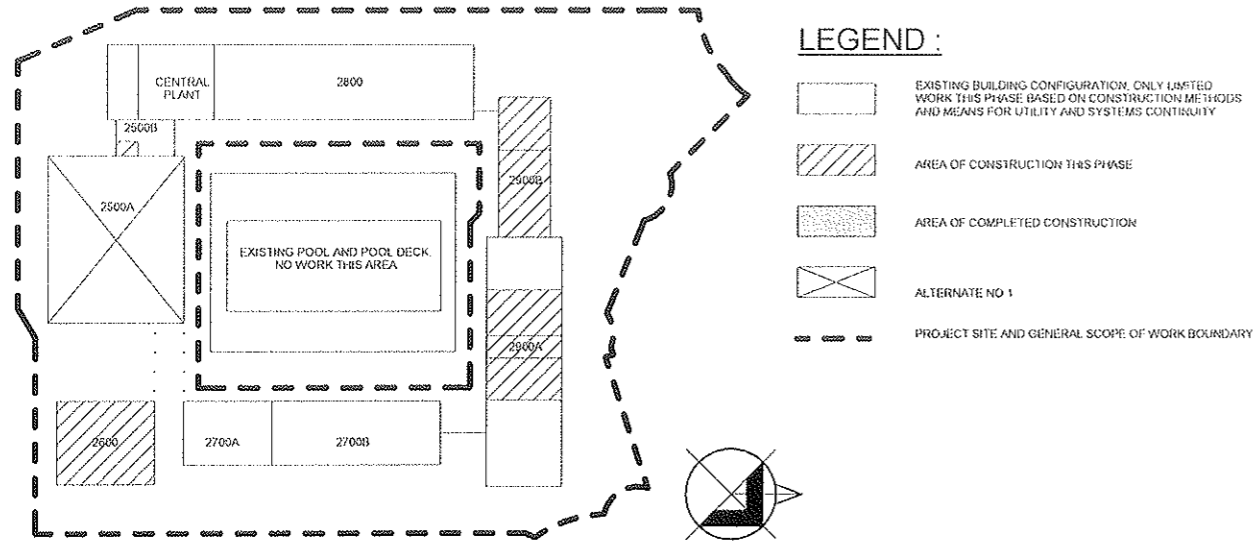
CHABOT COLLEGE PE COMPLEX
ALTERATIONS BLDGS 2500-2900



PRE-BID MEETING
03/30/2011

PHASE 1

NO SCALE



THIS PHASE INVOLVES BUILDINGS 2500, 2600, 2800 AND 2900.

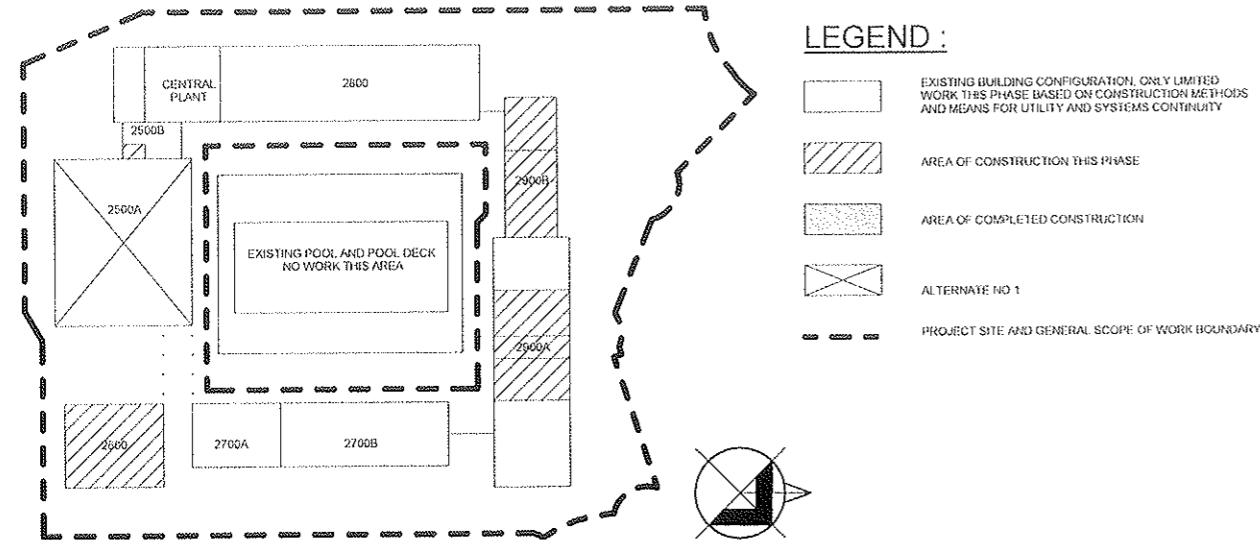
2600 AREA:

IN 2600, INTERIOR WALLS, DOORS AND CEILINGS ARE BEING DEMOLISHED IN ORDER TO RECONFIGURE FACULTY OFFICES. SOME EXTERIOR WALL INFILL OCCURS TO FACILITATE INTERIOR RECONFIGURATION. EXTERIOR WINDOWS ARE ALSO BEING REPLACED WITHIN EXISTING OPENINGS. LARGE CENTRAL CLASSROOM WITH SLOPING FLOOR WILL BE FILLED IN TO CREATE FLAT FLOOR.

NEW ROOF WORK INCLUDES REMOVAL OF THE BUILDING'S ROOF MEMBRANE AND PLYWOOD SHEATHING, INSTALLATION OF NEW BLOCKING, STRENGTHENING OF THE CONNECTIONS OF THE ROOF TO THE TOP OF THE CONCRETE WALLS ALL AROUND, AND REPLACING THE SHEATHING AND ROOF MEMBRANE. NEW FIRE SPRINKLER SYSTEM WILL BE INSTALLED AND FED FROM NEW FIRE RISER IN 2700A. ALL MECHANICAL, PLUMBING, ELECTRICAL, DATA COMMUNICATIONS, AV, SECURITY AND FIRE ALARM SYSTEMS WILL BE REPLACED.

PHASE 1, (continued)

NO SCALE



2900A AREA:

NEW DOOR OPENINGS, RAMPS, ROOF EXHAUST FANS, ELECTRICAL OUTLETS AND LOCKERS ARE INSTALLED IN THE SIX EXISTING RACQUETBALL COURTS. NEW INFILL WALLS AND A NEW IDF ROOM WILL BE BUILT ON THE FLOOR OF THE MEZZANINE ABOVE THE RACQUETBALL COURTS. ONCE THIS WORK IS COMPLETE, AND THE TRAINING STAFF HAS MOVED IN, DEMO WORK MAY BEGIN ON THE WEST SIDE (2900B AREA).

2900B AREA:

ALL FLOORING, WALLS, FURRING AND CEILING FINISHES ALONG WITH ALL ELECTRICAL AND MECHANICAL ELEMENTS ARE TO BE REMOVED. EXTERIOR DOORS AND FRAMES WILL BE REMOVED, AND NEW OPENINGS WILL BE CUT IN THE CONCRETE WALL PANELS TO RECEIVE NEW DOORS. ROOF MEMBRANE, INSULATION AND SHEATHING WILL BE REMOVED DOWN TO THE FRAMING, AND REPLACED WITH NEW. NEW MECHANICAL UNITS WILL BE SUSPENDED UNDER AND INSTALLED ON THE ROOF.

A NEW CONCRETE SLAB WILL BE POURED TO INFILL THE DEPRESSION LEFT BY REMOVAL OF THE EXISTING WOOD FLOORING SYSTEM. NEW WALLS, FURRING, DOORS (WITH RAMPS AT EXTERIOR DOORS AS APPLICABLE), WINDOWS, FINISHES, FIXTURES, MECHANICAL, ELECTRICAL, PLUMBING, AV, TELECOM, SECURITY AND FIRE ALARM SHALL BE COMPLETED AND FULLY OPERATIONAL AND CODE COMPLIANT AT THE END OF THIS PHASE.

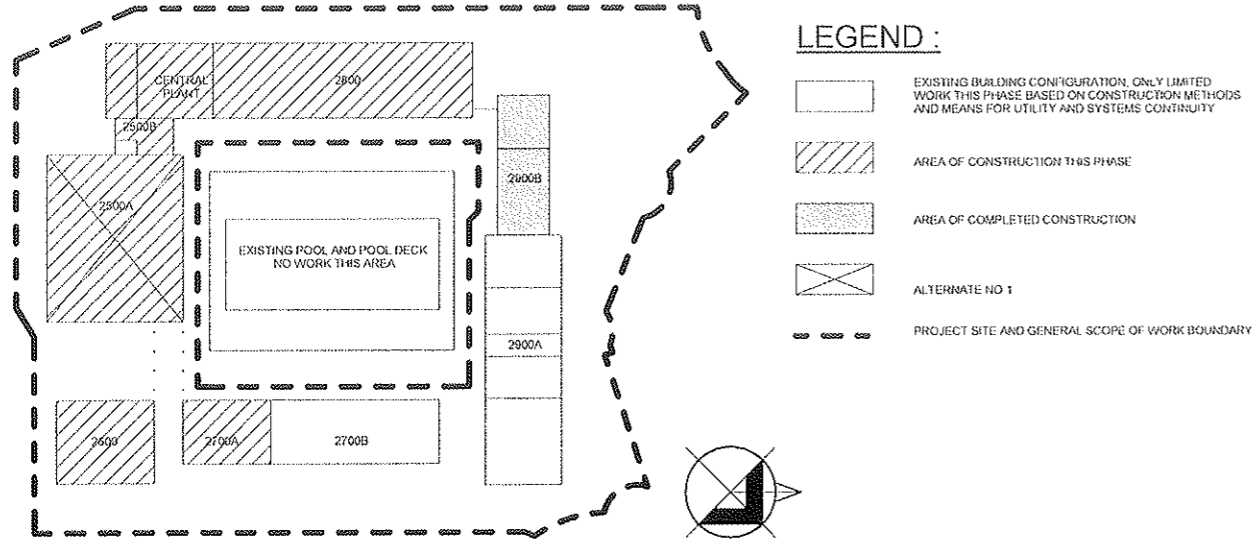
FIRE SPRINKLER PIPING WILL BE INSTALLED IN 2900B, BUT WILL NOT BE CHARGED UNTIL A LATER PHASE.

2500, 2800:

IN 2800, THE LOW-VOLTAGE CABINET ON THE WALL ON LINE 17 MUST BE RELOCATED TO THE IDF ROOM IN 2500B, BEFORE DEMOLITION BEGINS IN PHASE 2. THIS CABINET SERVES THE CENTRAL PLANT, WHICH MUST REMAIN OPERATIONAL THROUGHOUT THE DEMOLITION/CONSTRUCTION PROCESS. THE FIRE ALARM SYSTEM MUST REMAIN OPERATIONAL THROUGHOUT THIS PHASE. (2900A AREA)

PHASE 2

NO SCALE



THIS PHASE INVOLVES WORK IN BUILDINGS 2500, 2700, AND 2800.

2500A (ALTERNATE #1) AND 2500B AREAS:

REMOVE FROM THE ROOF ALL SYSTEMS EQUIPMENT AND ROOF MEMBRANE TO THE TOP OF THE EXISTING PLYWOOD SHEATHING. INSTALL ADDITIONAL, NEW SHEATHING, INSULATION AND ROOF MEMBRANE, NEW SKYLIGHTS AND NEW EXHAUST FANS. THE EXISTING SPRINKLER SYSTEM WILL BE REMOVED AND REPLACED, INCLUDING A NEW FIRE RISER IN THE EXISTING CENTRAL PLANT.

THERE WILL BE STRUCTURAL WORK INSIDE THE EXISTING CENTRAL PLANT CHILLER ROOM, AS WELL AS SUBSTANTIAL CONCRETE WORK IN THE STORAGE ROOM BETWEEN THE GYM AND THE CENTRAL PLANT.

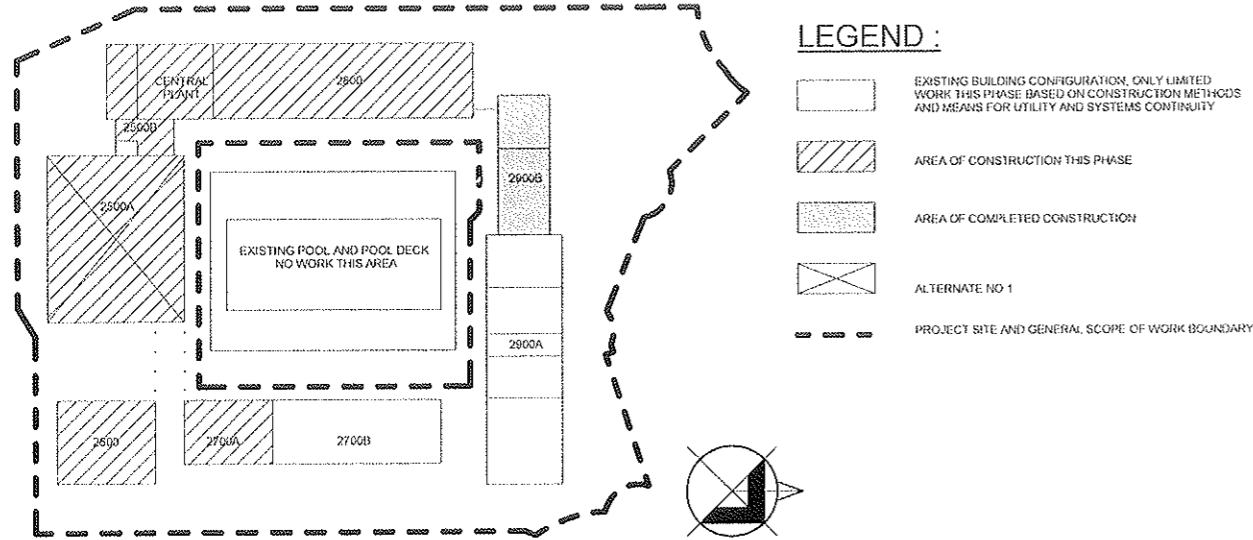
ALL DOORS, FRAMES AND THRESHOLDS IN THIS BUILDING WILL BE REPLACED, WITH RAMPS AT EXTERIOR DOORS AS APPLICABLE. NEW LIGHTING, DATA/TELECOM, AND PUBLIC ADDRESS SYSTEMS WILL ALSO BE INSTALLED. AIR HANDLING UNITS WILL BE REMOVED FROM ELEVATED PLATFORMS INSIDE THE GYMNASIUM, AND REPLACED WITH NEW HEATING-ONLY UNITS. CARE MUST BE TAKEN TO PROTECT THE NEWLY REFINISHED GYM FLOOR AND BLEACHERS. AT THE CLOSE OF THIS PHASE, 2500A AND 2500B WILL BE COMPLETE AND READY FOR CLOSEOUT AND OCCUPANCY.

2700A AREA:

SELECTED WALLS AND FINISHES ARE BEING REMOVED IN THE BUILDING; SAWCUTTING OF CONCRETE FLOORS IS NEEDED FOR ROUTING OF NEW SANITARY SEWER LINES, AND REMOVAL OF MECHANICAL EQUIPMENT. A NEW AIR HANDLING UNIT AND A NUMBER OF VAV'S WILL BE INSTALLED, ALONG WITH NEW HYDRONIC LINES. INSTALL NEW WALLS, FINISHES, TOILET FIXTURES, LOCKERS AND BENCHES. A NEW FIRE RISER AND NEW FIRE SPRINKLER PIPING WILL BE INSTALLED, AND CHARGED, WITH A STUB CAPPED OFF FOR CONTINUATION IN PHASE 4. THIS PORTION OF THE BUILDING WILL BE USED FOR CERTAIN TEMPORARY OCCUPANCY, AND WILL HAVE FURTHER MODERNIZATION CONSTRUCTION IN PHASE 5.

PHASE 2, (continued)

NO SCALE



2800A AREA (INCLUDING CENTRAL PLANT):

REMOVE ALL INTERIOR PARTITIONS, DOORS, FINISHES AND FIXTURES NORTH OF LINE 12.5. NEW SHOWER ROOMS WILL REQUIRE EXTENSIVE SAWCUTTING OF EXISTING FLOOR SLABS FOR INSTALLATION OF UNDERGROUND SEWER LINES, AND SLOPING SHOWER ROOM FLOORS. SOME FLOOR AREAS ARE ALREADY RECESSED, AND NEED TO BE FILLED IN. OTHER AREAS ARE TOO HIGH AND NEED TO BE BUSHHAMMERED DOWN A SMALL AMOUNT TO ACCOMMODATE FLOOR FINISHES. AN EXISTING RAMP TO AN UNDERGROUND CORRIDOR SYSTEM WILL BE COVERED WITH CONCRETE OVER METAL DECK.

ROOF WORK INVOLVES REMOVAL OF MECHANICAL EQUIPMENT, ROOF TOP SYSTEMS AND EXISTING PLYWOOD SHEATHING, STRENGTHENING OF THE CONNECTIONS OF THE ROOF TO THE TOP OF THE CONCRETE WALLS ALL AROUND, AND REPLACING THE SHEATHING AND ROOF MEMBRANE. EXISTING ROOF-MOUNTED HYDRONIC LINES WILL BE SUPPORTED ABOVE THE ROOF WHILE STRUCTURAL WORK AND ROOF MEMBRANE INSTALLATION OCCURS. ONCE COMPLETE, THE HYDRONIC LINES WILL BE RESET AND EXTENDED.

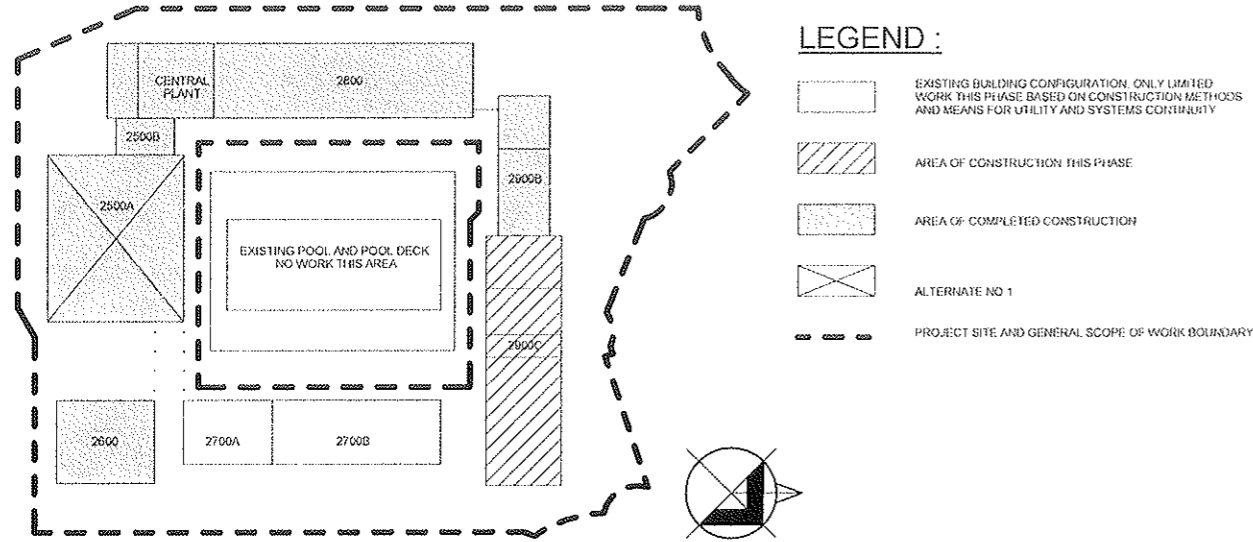
A NEW FIRE SPRINKLER MAIN LINE WILL EXTEND THROUGH THE DEMISING WALL OF CENTRAL PLANT, WHERE IT HAS BEEN PREVIOUSLY CAPPED OFF, TO FEED THE NEW SPRINKLER SYSTEM. THERE WILL ALSO BE STRUCTURAL WORK INSIDE THE EXISTING CENTRAL PLANT CHILLER ROOM, AS WELL AS SUBSTANTIAL CONCRETE WORK IN THE STORAGE ROOM BETWEEN THE GYM AND THE CENTRAL PLANT. AT THE CLOSE OF THIS PHASE, 2800A WILL BE COMPLETE AND READY FOR CLOSEOUT AND OCCUPANCY.

2600A AREA:

2600A WILL STILL BE UNDER CONSTRUCTION THROUGH THIS PHASE

PHASE 3

NO SCALE



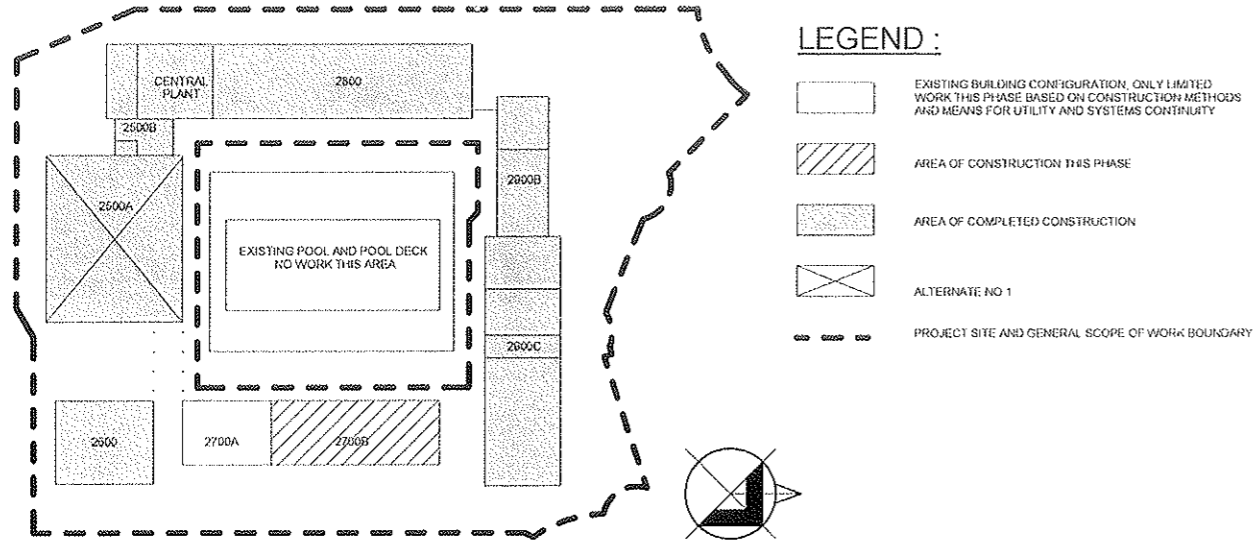
2900C AREA:

THIS PHASE INVOLVES EXTENSIVE DEMOLITION OF CONCRETE WALLS AND FLOOR SLABS AND REMOVAL OF ROOF SHEATHING. THE CONTRACTOR SHALL DESIGN AND INSTALL TEMPORARY SHORING FOR THIS BUILDING WHILE THE STRUCTURAL WORK IS BEING DONE. CONTRACTOR SHALL SUBMIT INCREMENT NO.2 TO ARCHITECT FOR REVIEW AND SUBMITTAL TO DSA. A SECTIONALIZED STEEL MOMENT FRAME WILL REPLACE AN INTERIOR SHEAR WALL, INVOLVING WELDING. A NEW FIRE RISER AND SPRINKLER SYSTEM WILL BE INSTALLED, AND TIED INTO THE LINE PREVIOUSLY INSTALLED SERVING THE WEST PORTION OF THE BUILDING (2900B AREA).

NEW CONCRETE FLOOR SLABS WILL BE POURED, AND NEW WOOD SPORT FLOOR SYSTEMS WILL BE INSTALLED. SOME SAWCUTTING OF CONCRETE FLOORS IS NEEDED FOR ROUTING OF NEW SANITARY SEWER LINES. NEW ROOF WORK INCLUDES INSTALLATION OF NEW BLOCKING, STRENGTHENING OF THE CONNECTIONS OF THE ROOF TO THE TOP OF THE CONCRETE WALLS, AND REPLACING THE SHEATHING AND ROOF MEMBRANE. INSTALL SKYLIGHTS. NEW HYDRONIC LINES, AIR HANDLERS AND DUCTWORK WILL ALSO BE INSTALLED. AT THE CLOSE OF THIS PHASE 2900C WILL BE COMPLETE, AND READY FOR CLOSEOUT AND OCCUPANCY.

PHASE 4

NO SCALE



2700B AREA:

SAWCUTTING AND REMOVAL OF CONCRETE FLOOR STRUCTURE WILL BE REQUIRED FOR INSTALLATION OF SHOWER ROOMS, TOILET ROOMS, AND UNDERGROUND PLUMBING. SOME FLOOR AREAS ARE ALREADY RECESSED, AND NEED TO BE FILLED IN. OTHER AREAS ARE TOO HIGH AND NEED TO BE BUSHHAMMERED DOWN A SMALL AMOUNT TO ACCOMMODATE FLOOR FINISHES.

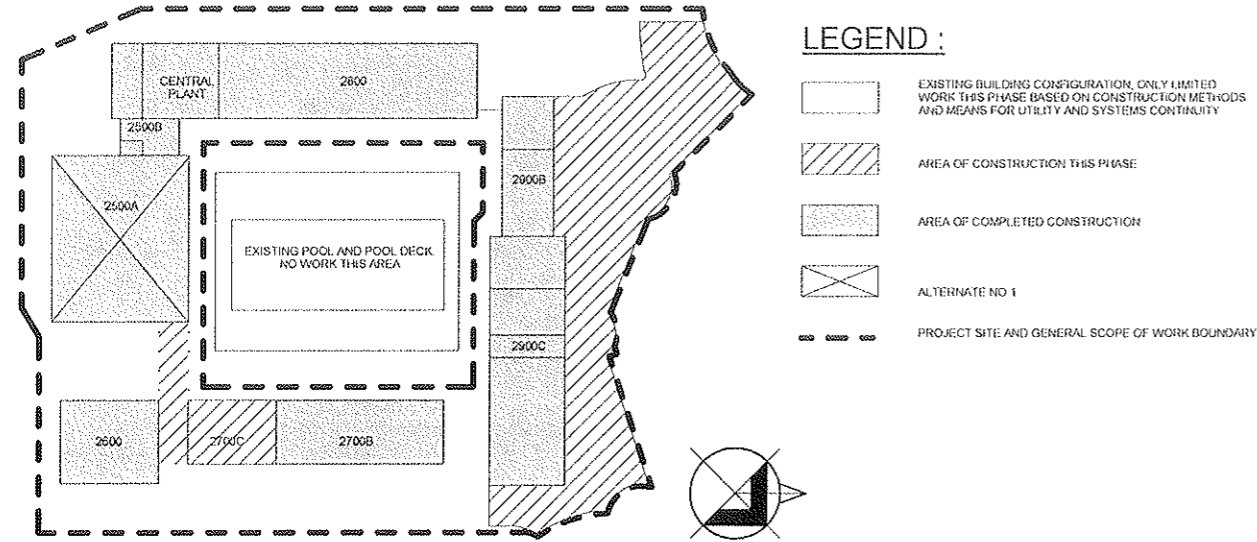
AN EXISTING RAMP TO AN UNDERGROUND CORRIDOR SYSTEM WILL BE COVERED WITH CONCRETE OVER METAL DECK. A NEW FIRE SPRINKLER SYSTEM WILL BE INSTALLED, CONTINUING THE WORK STARTED IN PHASE 2. NEW DUCTWORK WILL BE INSTALLED, CONNECTING TO WORK STARTED IN PHASE 2.

NEW ROOF WORK INCLUDES REMOVAL OF THE BUILDING'S ROOF MEMBRANE AND PLYWOOD SHEATHING, INSTALLATION OF NEW BLOCKING, STRENGTHENING OF THE CONNECTIONS OF THE ROOF TO THE TOP OF THE CONCRETE WALLS, AND REPLACING THE SHEATHING AND ROOF MEMBRANE.






AT THE CLOSE OF THIS PHASE, 2700B AREA WILL BE COMPLETE AND READY FOR CLOSEOUT AND OCCUPANCY.

PHASE 5

NO SCALE



LEGEND :

-  EXISTING BUILDING CONFIGURATION, ONLY LIMITED WORK THIS PHASE BASED ON CONSTRUCTION METHODS AND MEANS FOR UTILITY AND SYSTEMS CONTINITY
-  AREA OF CONSTRUCTION THIS PHASE
-  AREA OF COMPLETED CONSTRUCTION
-  ALTERNATE NO 1
-  PROJECT SITE AND GENERAL SCOPE OF WORK BOUNDARY

2700C AREA:

THE TEMPORARY WALL ON LINE 34 WILL BE REMOVED, NEW TOILET FIXTURES AND LAVATORIES WILL BE ADDED TO EXISTING TOILET ROOMS, AND TOILET PARTITIONS WILL BE RECONFIGURED TO ACCOMMODATE PERMANENT LAYOUTS. NEW DUCTWORK WILL ATTACH TO EXISTING, AND A NEW SOFFIT WILL BE CONSTRUCTED TO CONCEAL IT. A NEW STORAGE ROOM AND OFFICE WILL BE BUILT, AND NEW CUBBIES, CABINETS AND DRINKING FOUNTAIN WILL BE INSTALLED.

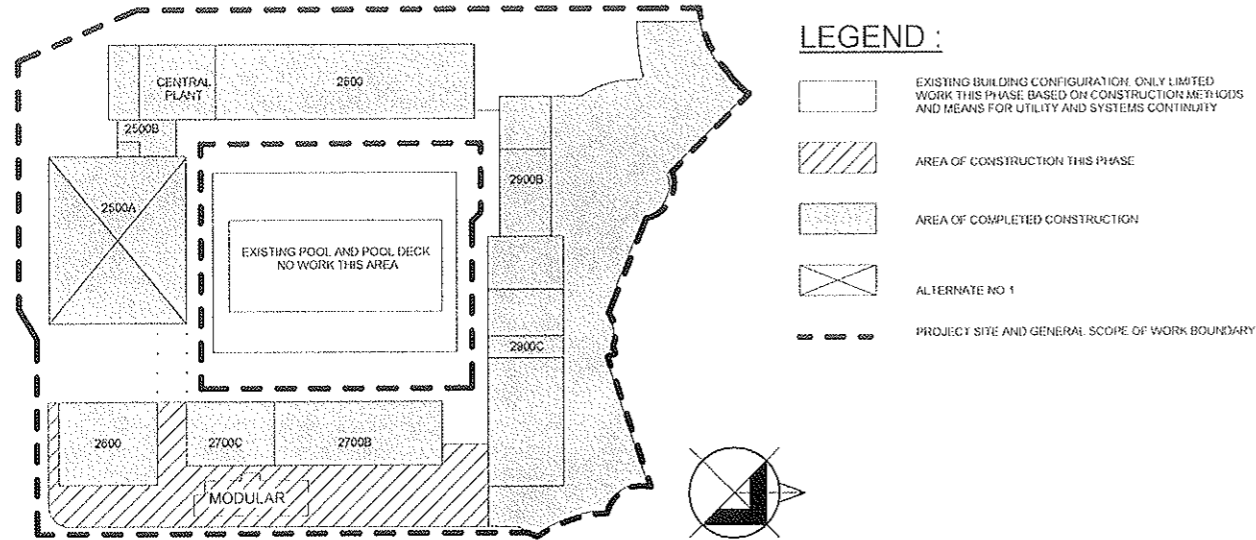
AT THE CLOSE OF THIS PHASE, **2700C** WILL BE COMPLETE AND READY FOR CLOSEOUT AND OCCUPANCY.

2900 AREA:

ALL PAVING, LANDSCAPING AND IRRIGATION, FENCING, MONUMENTS AND GATES TO THE NORTH OF 2900 WILL BE DONE.

PHASE 6

NO SCALE



THIS PHASE COVERS ALL REMAINING SITE GRADING, FLATWORK, AND LANDSCAPING. THE MODULAR BUILDING TO THE EAST OF 2700 WILL BE REMOVED.

ALL PHASES

1. DURING ALL PHASES, THE CONTRACTOR WILL COORDINATE WITH THE ARCHITECT AND THE DSA DISTRICT ENGINEER TO ENSURE ALL NECESSARY REPORTS ARE SUBMITTED FOR WORK AT THE APPROPRIATE TIMES. AT THE DISCRETION OF THE DSA FIELD ENGINEER, WORK MAY BE CARRIED OUT WHILE ADJACENT ROOMS ARE OCCUPIED.
2. THE PHASES AND SUB-PHASES OF WORK IDENTIFIED HERE ARE GENERALIZED, SUMMARY DESCRIPTIONS. THE CONTRACT DRAWINGS AND SPECIFICATION INDICATE REQUIRED WORK. CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CONTRACT DRAWINGS AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS AND MEANS AS WELL AS THE OPERATIONAL CONTINUITY OF SYSTEMS AND UTILITIES.

CHABOT COLLEGE PE COMPLEX ALTERATIONS BLDGS 2500-2900

